

**CITY OF CRANSTON
ZONING BOARD OF REVIEW
APPLICATION**

APPLICATION FOR EXCEPTION OR VARIATION UNDER THE ZONING ORDINANCE "CITY OF CRANSTON ZONING CODE, DECEMBER 1994 EDITION AS AMENDED."

TO: CRANSTON ZONING BOARD OF REVIEW
1090 CRANSTON STREET
CRANSTON, RI 02920

DATE: October 7, 2021

MEMBERS:

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Bethany Murga
ADDRESS: 74 Priscilla Drive, Cranston, RI ZIP CODE: 02921
APPLICANT: Bethany Murga
ADDRESS: 74 Priscilla Drive, Cranston, RI ZIP CODE: 02921
LESSEE:
ADDRESS _____ ZIP CODE: _____
1. ADDRESS OF PROPERTY: 74 Priscilla Drive, Cranston, RI ZIP CODE: 02921
2. Assessor's PLAT 21 LOT #: 86 WARD 4
3. LOT FRONTAGE: 80 FEET LOT DEPTH: 115.65 FEET LOT AREA: 11,319 SQUARE FEET
4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A-8 8000 SQUARE FEET
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)
5. BUILDING HEIGHT, PRESENT: within height limitation PROPOSED: within height limitation
6. LOT COVERAGE, PRESENT: 15.59 % PROPOSED LOT: 18.4 %
7. HOW LONG HAVE YOU OWNED ABOVE PREMISES? 5 years
8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? yes
9. GIVE SIZE OF EXISTING BUILDING(S): 1479 sq. feet
10. GIVE SIZE OF PROPOSED BUILDING(S) proposed building is 1756 square feet. Deck is 312 square feet.
11. WHAT IS THE PRESENT USE? single family residence
12. WHAT IS THE PROPOSED USE? single family residence
13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 1
14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Construction of a 277 square foot addition to the rear of the house. Proposed deck of 12' x 26'- 312 feet.

OVER

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING INSPECTOR? No

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIATION IS MADE: Section 17.92.010 Variances; Section 17.20.120 Schedule of Intensity Regulations – minimum side yard requirement. All other applicable Sections of the Cranston Zoning Ordinance.

18. STATE GROUNDS FOR EXCEPTION OR VARIATION IN THIS CASE: Applicant proposes to build a 277 square foot addition to residence and add a 12'x26' deck. Proposed deck does not require zoning variance. The granting of this application will cause no injury to the public health, public safety or welfare. It will not alter the essential character of the neighborhood nor substantially injure the appropriate use of neighboring properties.

SIGNATURE OF OWNER, APPLICANT, LESSEE AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

Owner:

By: Bethany Murga 10/7/21 (401) 780-6012
Bethany Murga (PHONE NUMBER)

Applicant:

By: Bethany Murga 10/7/21 (401) 780-6012
Bethany Murga (PHONE NUMBER)

John S. DiBona, Attorney 401-943-6655
78 Kenwood Street, Cranston, RI 02907 (PHONE NUMBER)

PRE-ZONING APPLICATION MEETING : _____
(Planning Dept. Signature) (Date)

REFERENCE:

DEED BK. 6134 / PG. 314 DESIGNATED AS LOT 29 ON THAT PLAT ENTITLED: "HILLSIDE TERRACE, CRANSTON, R.I. BELONGING TO JOHN DEL BONIS AND PRISCILLA M. BY PETER V. CIPOLLA ENGINEER, JUNE 1949" PLAT CARD 374

NOTE:

PLAT BOUND FOUND AT THE POINT OF CURVATURE AT THE NORTHEAST CORNER OF A.P. 21 / LOT 81.



LOCUS MAP

ZONING DISTRICT A-8

MINIMUM LOT AREA	8,000 S.F.
MINIMUM LOT FRONTAGE	80 FT.
MINIMUM SETBACKS:	
FRONT	25 FT.
SIDE	10 FT.
REAR	20 FT.
MAXIMUM LOT COVERAGE	30%
MAXIMUM BUILDING HEIGHT	35 FT.

DIMENSIONAL CONFORMANCE SURVEY

A.P. 21 / LOT 86
74 PRISCILLA DRIVE
CRANSTON, R.I.

SCALE: 1"=20' DATE: SEPTEMBER 1, 2021

PREPARED FOR:

BETHANY MURGA

74 PRISCILLA DRIVE
CRANSTON, R.I. 02921

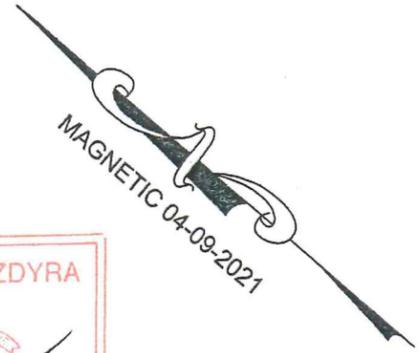
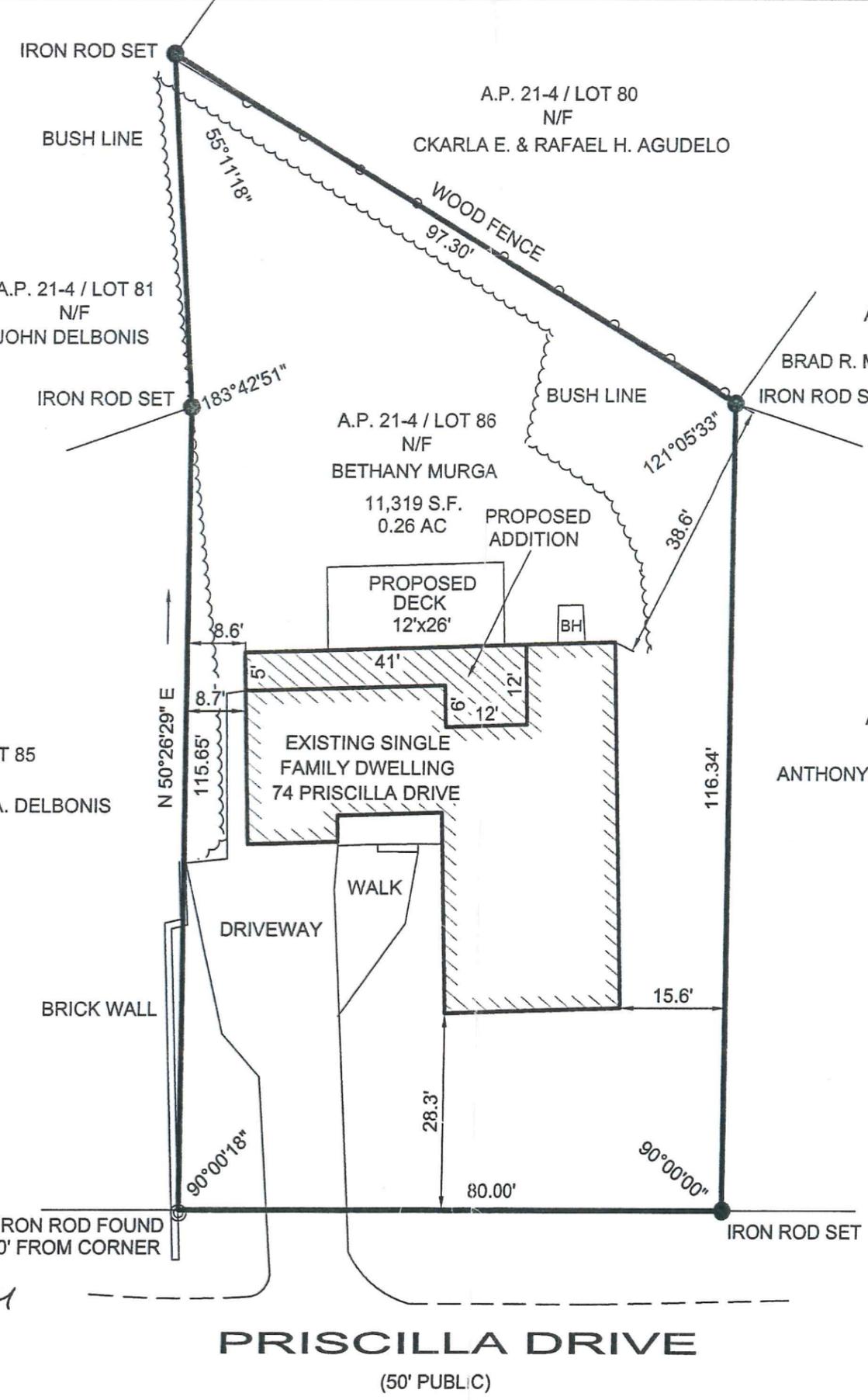
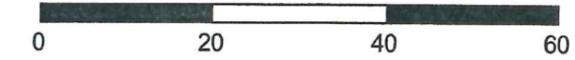
PREPARED BY:

OCEAN STATE PLANNERS, INC.

1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9959 / DWG. NO. 9959 - (JNP)

GRAPHIC SCALE / 1" = 20'



SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

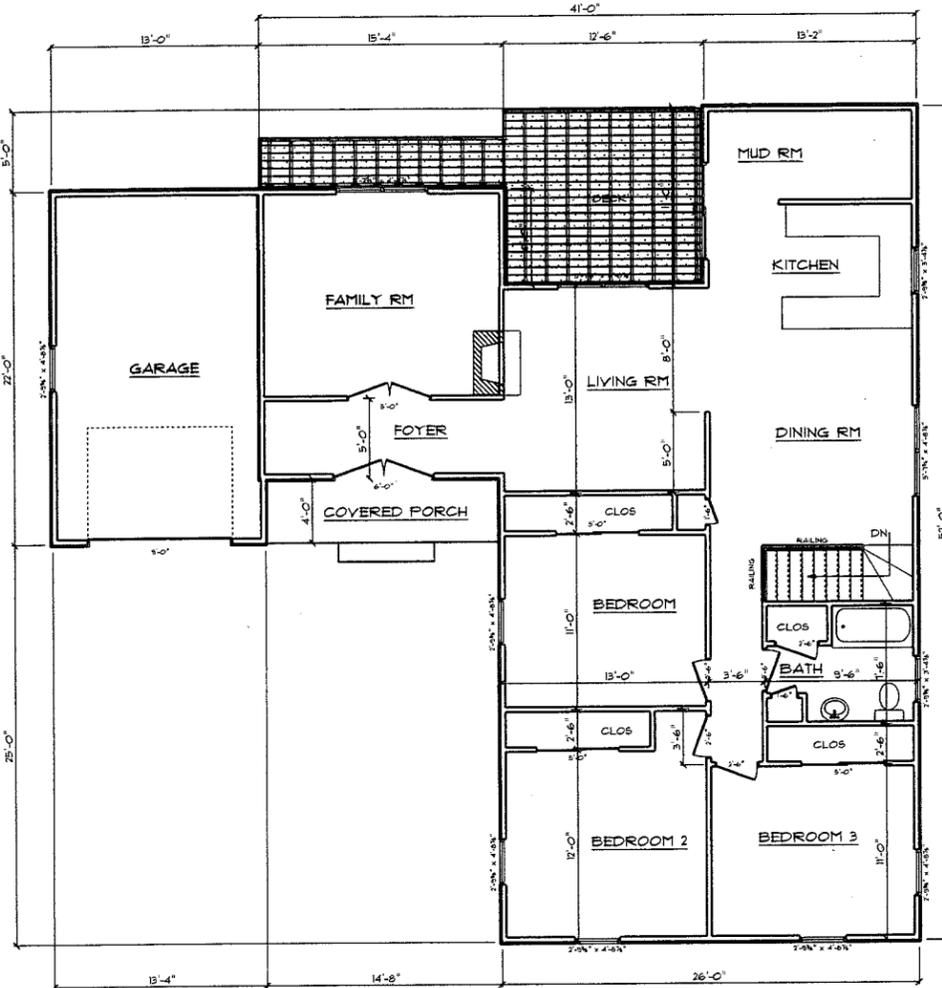
TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:

LIMITED CONTENT BOUNDARY SURVEY CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR ADDITION

BY: *[Signature]* DATE: *SEP. 1, 2021*

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60



EXISTING FLOOR PLAN 3/16"=1'-0"

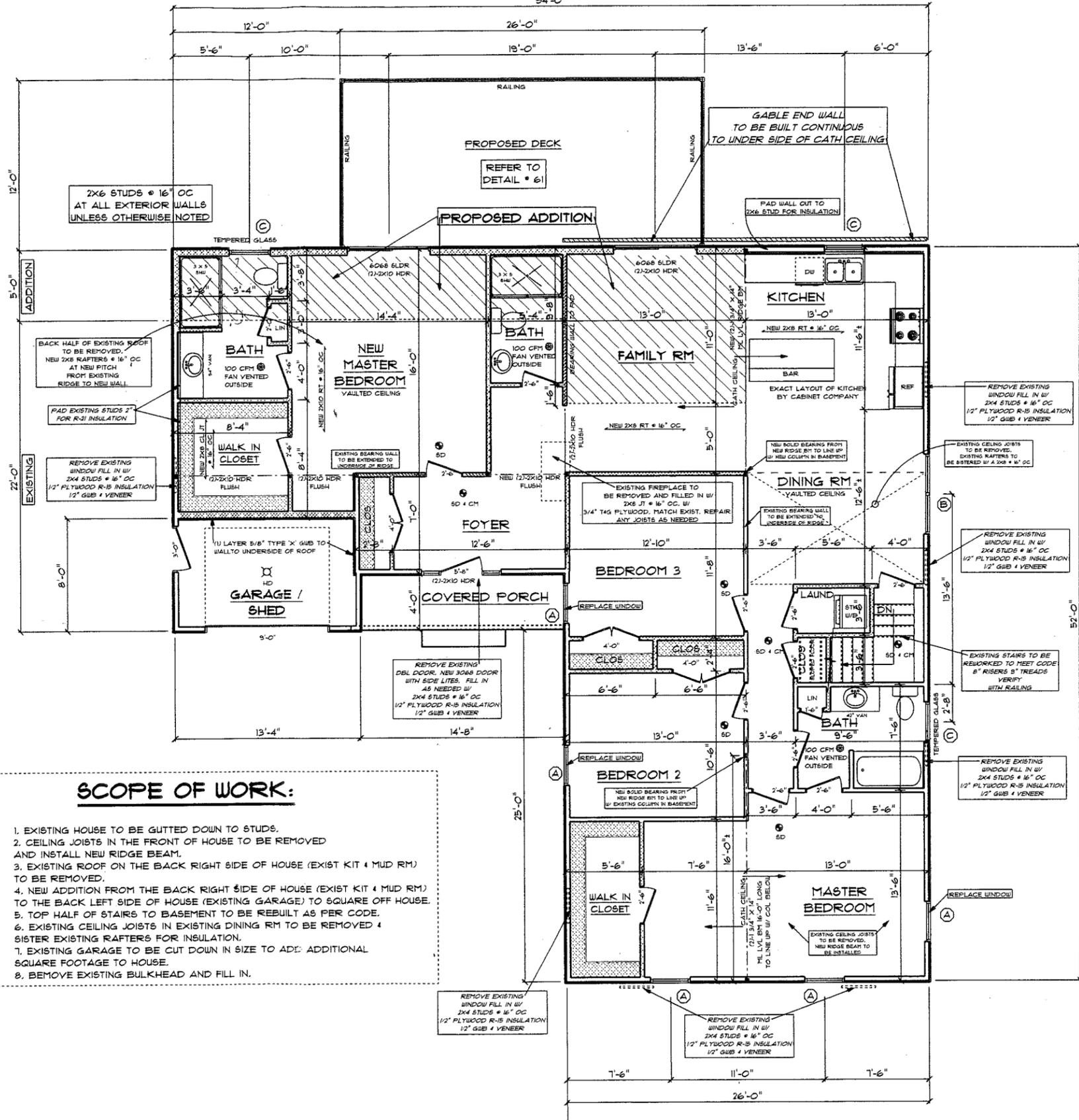
ALL INTERIOR DIMENSIONS ARE APPROXIMATE

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

- RISBC - 2 - 2019
- WIND DESIGN: ZONE 1 (100 MPH)
- LOAD DESIGNS: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
20 PSF DEAD LOADS
20 PSF ATTIC LOADS
60 PSF EXTERIOR DECK LOADS
30 PSF SNOW LOADS
- FROST DEPTH: MINIMUM 3'-6" DEEP
- CLIMATE ZONE: 5
- CONSTRUCTION TYPE: 5B
- BUILDING HEIGHT: (MAXIMUM 35'-0") MEASURED FROM TOP OF FOUNDATION TO RIDGE
- ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE MINIMUMS AS PER THE PRESCRIPTIVE METHOD OF TABLE N102.1.2 OF THE ENERGY CONSERVATION CODES.

LEGEND:

- SOLID BEARING TO FOUNDATION
- TG TEMPERED GLASS
- SD SMOKE DETECTOR
- SD + CH SMOKE DETECTOR & CARBON MONOXIDE
- HU HOT WATER
- HU HEATING UNIT/ BOILER
- 100 CFM FAN VENTED TO OUTSIDE
- HD HEAT DETECTOR
- WC WALK IN CLOSET
- M/C MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- Ⓐ WINDOW UNIT NUMBER
- Ⓛ DOOR UNIT NUMBER



- SCOPE OF WORK:**
- EXISTING HOUSE TO BE GUTTED DOWN TO STUDS.
 - CEILING JOISTS IN THE FRONT OF HOUSE TO BE REMOVED AND INSTALL NEW RIDGE BEAM.
 - EXISTING ROOF ON THE BACK RIGHT SIDE OF HOUSE (EXIST KIT & MUD RM) TO BE REMOVED.
 - NEW ADDITION FROM THE BACK RIGHT SIDE OF HOUSE (EXIST KIT & MUD RM) TO THE BACK LEFT SIDE OF HOUSE (EXISTING GARAGE) TO SQUARE OFF HOUSE.
 - TOP HALF OF STAIRS TO BASEMENT TO BE REBUILT AS PER CODE.
 - EXISTING CEILING JOISTS IN EXISTING DINING RM TO BE REMOVED & SISTER EXISTING RAFTERS FOR INSULATION.
 - EXISTING GARAGE TO BE CUT DOWN IN SIZE TO ADD ADDITIONAL SQUARE FOOTAGE TO HOUSE.
 - REMOVE EXISTING BULKHEAD AND FILL IN.

EXISTING & PROPOSED FLOOR PLAN 1/4"=1'-0"

POINT LOAD FROM ABOVE
PROVIDE THE FOLLOWING:
1) SOLID BLOCKING BETWEEN BEAM (OR BILL) AND PLYWOOD SUBFLOOR
2) A MINIMUM OF THREE STUDS IN A BEARING WALL, AS BEAM JACKS

PROPOSED ADDITION & RENOVATION
PREPARED FOR:
ORCHARD BUILDERS
14 FRISCELLA DRIVE
CRANSTON, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY
DLR DIMENSIONS, INC
DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

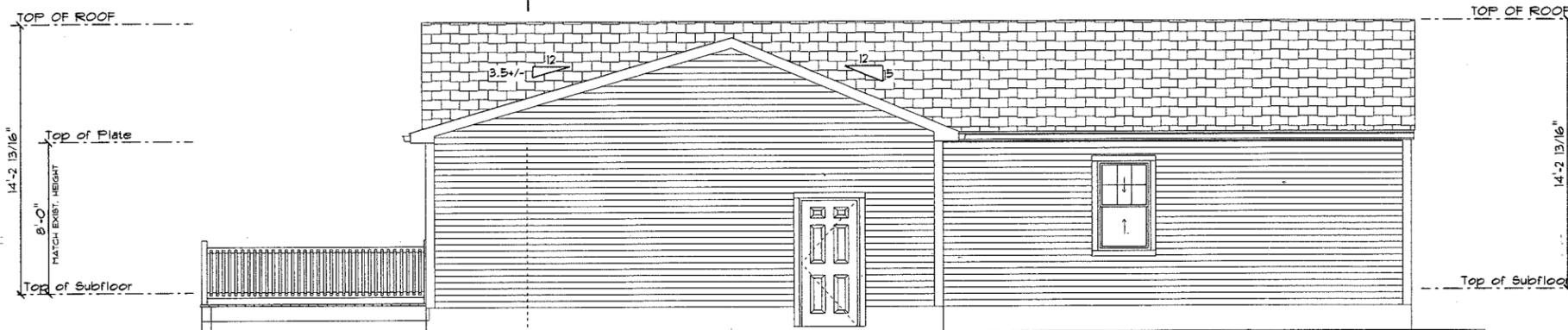
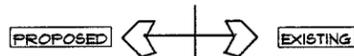
EST. 1985
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DLRDIMENSIONS.COM

DLR DIMENSIONS, INC IS NOT LIABLE FOR FURTHER CHANGES, DIMENSIONS, AND/OR CHANGES BY THE BUILDER/CONTRACTOR. ALL DIMENSIONS AND LOCAL CODES SHALL BE VERIFIED DURING CONSTRUCTION.

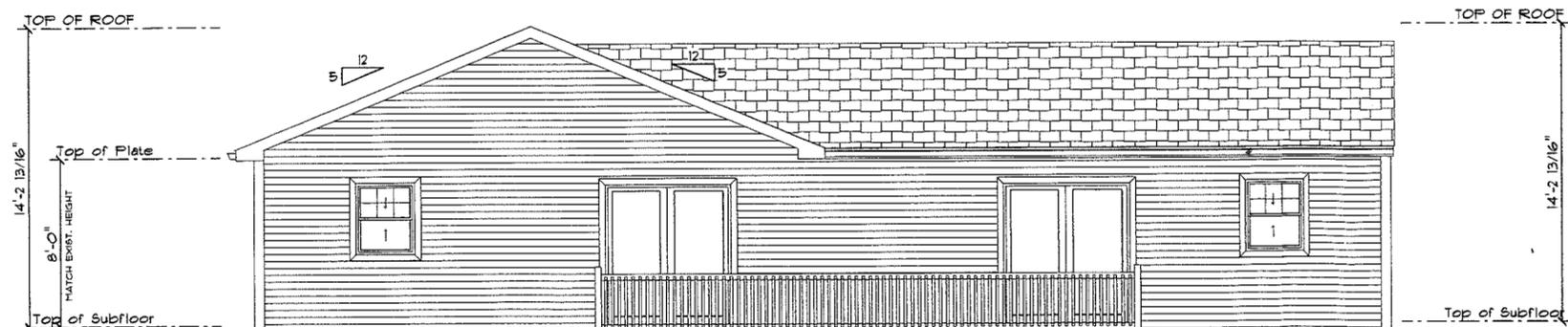
SCALE NOTED
DATE Tuesday, August 31, 2021
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 6429



FRONT ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"



BACK ELEVATION 1/4"=1'-0"

EXISTING BULKHEAD TO BE REMOVED. FILL IN WITH 1" CMU FILLED SOLID

16" DIA. CONC. FTG MIN. 3'-6" DEEP TYPICAL

16" DIA. CONC. FTG MIN. 3'-6" DEEP TYPICAL

PROVIDE A 30" H X 36" W CRAWL SPACE ACCESS

WINDOW SCHEDULE						
TYPICAL HEADER: (2) 2" X 10"			TYPICAL HEADER HEIGHT: 6'-11"			
(EXCEPTIONS ARE NOTED ON PLANS)						
NOTE: ALL LUMBER SPECIES FOR HEADERS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 2 OR BETTER.						
ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING:						
FLOOR JOISTS LIVING AREAS: 40 psf LIVE LOAD 20 psf DEAD LOAD						
FLOOR JOISTS SLEEPING AREAS: 30 psf LIVE LOAD 20 psf DEAD LOAD						
MANUFACTURER (OR EQUIVALENT): HARVEY WINDOWS MIN. U-FACTOR .35						
UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL FFF	CLR. OPN.	DESIGN PRESSURE
A	2'-10" X 4'-8 1/2"	DH	3	8.2 / 2'-0"	5.03	30
B	3'-6 1/4" X 4'-8 1/2"	DH MUL	1	24.0 / 2'-1"	5.03 EA	30
C	2'-10" X 3'-5 1/2"	DH	3	9.5 / 3'-5"	3.37	30
D						
E						
F						
G						

DOOR SCHEDULE		MINIMUM DESIGN PRESSURE FOR SLIDERS / FRENCH DOORS
TYPICAL HEADER: (2) 2" X 10"		20
TYPICAL HEADER HEIGHT: 6'-11"		
(EXCEPTIONS ARE NOTED ON PLANS)		
INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.		
INTERIOR DOORS 6'-11" HIGH (TYPICAL)		
EXTERIOR DOORS 6'-11" HIGH (TYPICAL)		

DESIGN PRESSURE		DESIGN PRESSURE REQUIRED	DESIGN PRESSURE PROVIDED
WIND ZONE:	100 MPH	18.0 / -18.5	30
WIND EXPOSURE:	B		
HEIGHT (MAX.):	35'-0"		
PRESSURE ZONES:	4 4 5		

ISOMETRIC CONNECTIONS

• POINT LOAD FROM ABOVE

PROVIDE THE FOLLOWING:

- SOLID BLOCKING BETWEEN BEAM (OR SILL) AND PLYWOOD SUBFLOOR
- A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

PROVIDE SIMPSON TYPE POST CAP AT ALL SPLICES AND CONTINUOUS BEAM CONNECTIONS

SEE STRUCTURAL PLANS AND NOTES FOR REQUIRED CONNECTORS AND ANCHOR REQUIREMENTS

PROPOSED ADDITION & RENOVATION

PREPARED FOR:
ORCHARD BUILDERS
14 PRISCILLA DRIVE
CRANSTON, RHODE ISLAND

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DLR DIMENSIONS, INC. IS NOT LIABLE FOR PARTIAL NOTES, DIMENSIONS, AND/OR DRAWING BUILDING CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INQUIRE COMPLIANCE WITH LOCAL CODES DURING CONSTRUCTION.

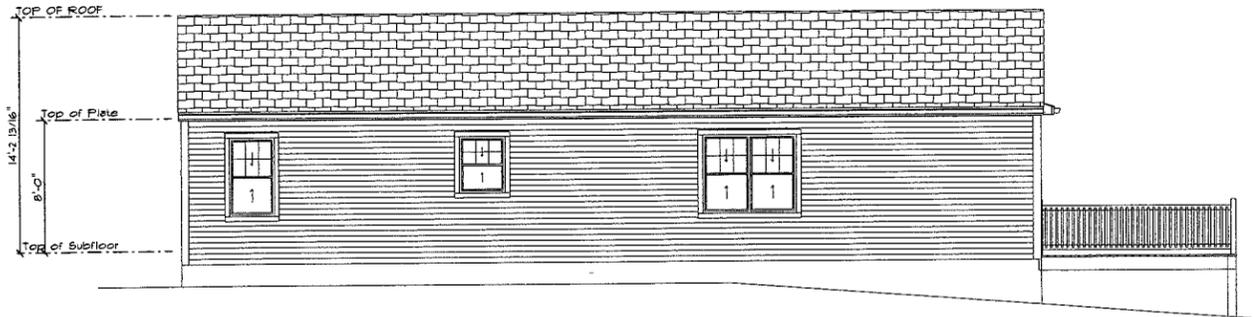
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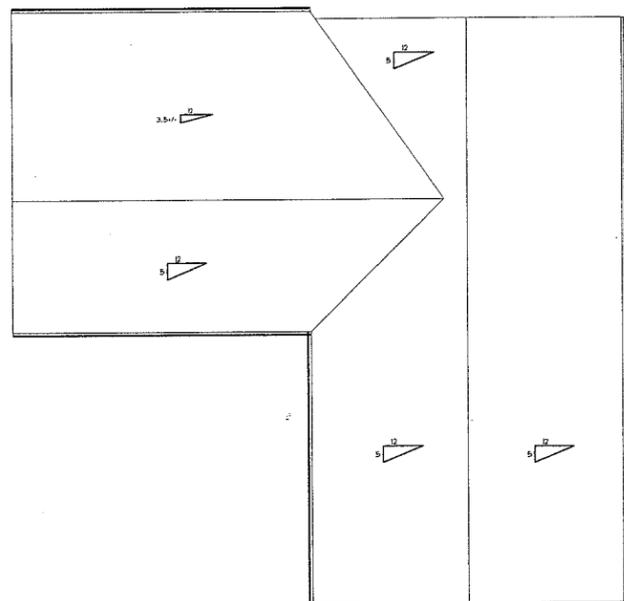
APPROVED
DRR

DRAWN BY
DRR

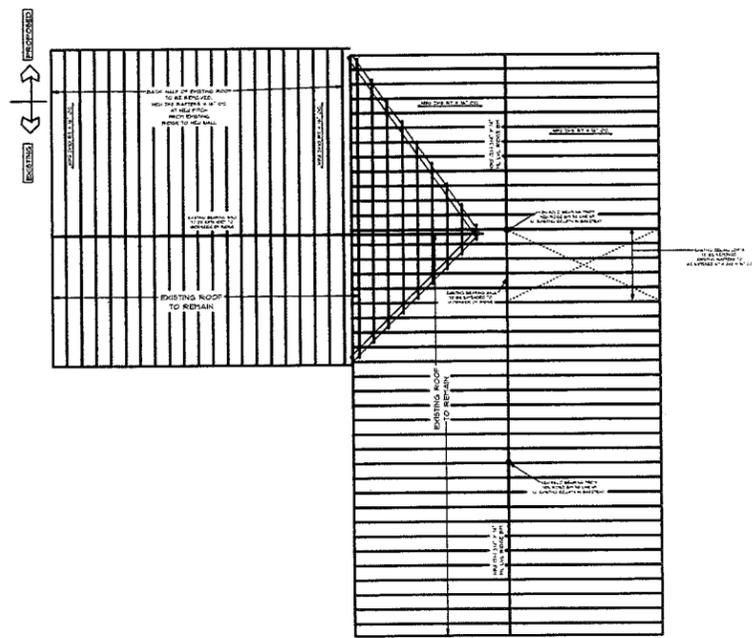
DRAWING NUMBER
6429



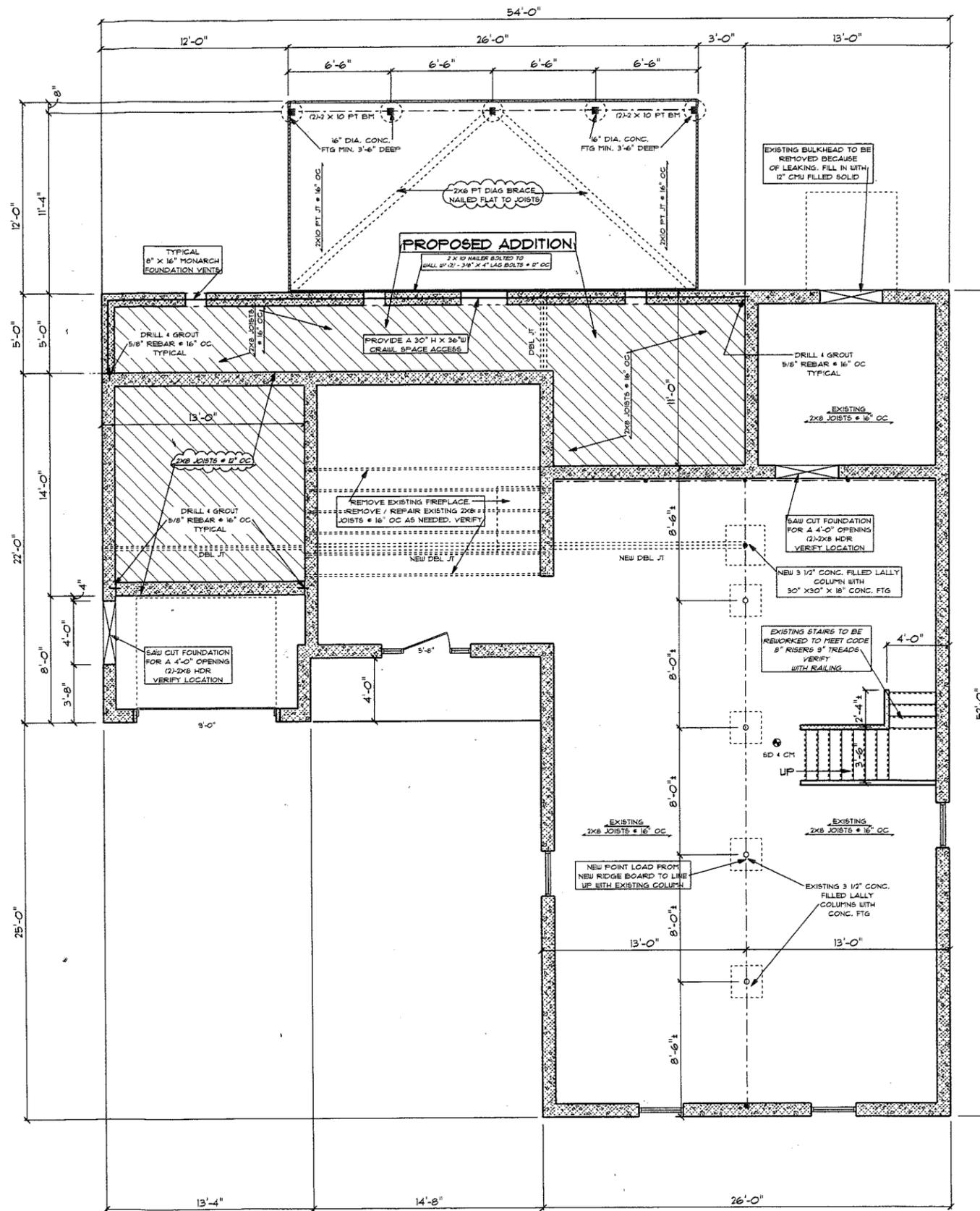
RIGHT SIDE ELEVATION 3/16"=1'-0"



ROOF PLAN 1/8"=1'-0"



ROOF FRAMING PLAN 1/8"=1'-0"



EXISTING & PROPOSED FOUNDATION PLAN 1/4"=1'-0"

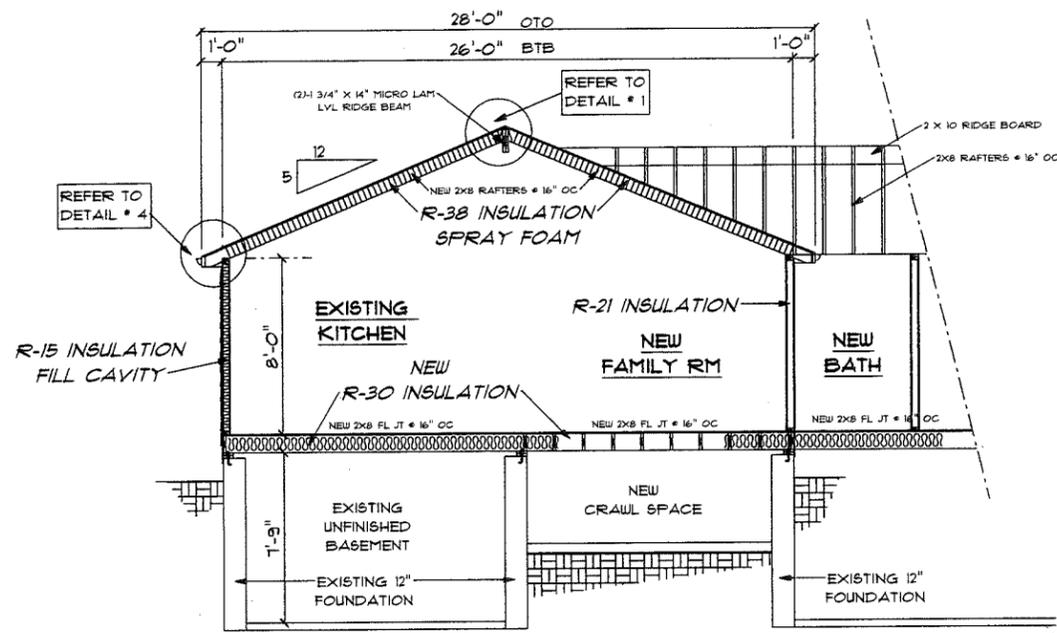
PROPOSED ADDITION & RENOVATION
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 ORCHARD BUILDERS
 14 PRISCILLA DRIVE
 CRANSTON, RHODE ISLAND

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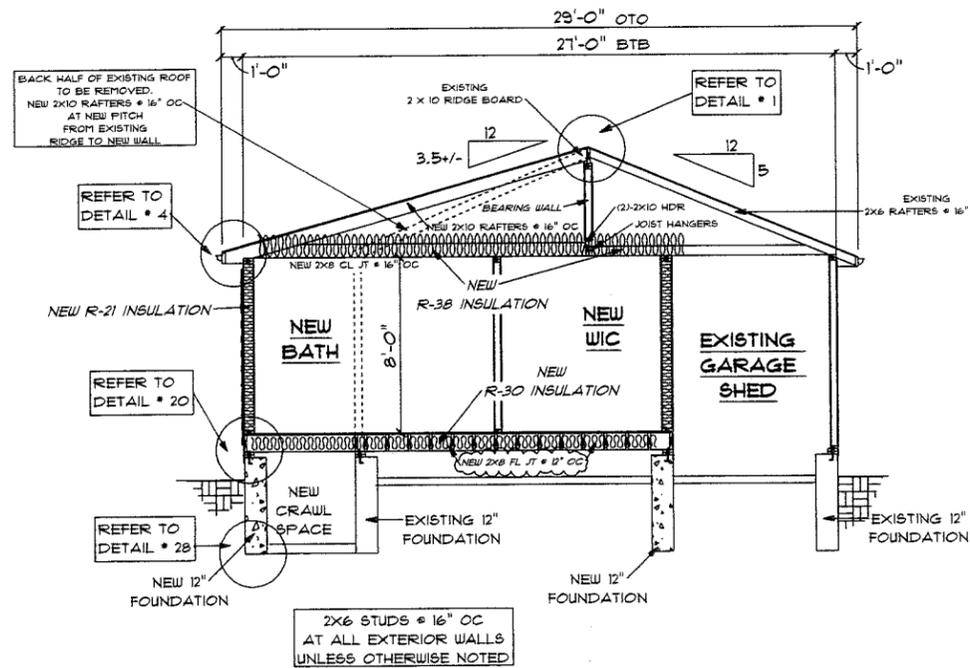
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DLR DIMENSIONS, INC. IS NOT RESPONSIBLE FOR ANY CHANGES TO NOTES, DIMENSIONS, OR MATERIALS. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MATERIALS AGAINST LOCAL CODES PRIOR TO AND DURING CONSTRUCTION.

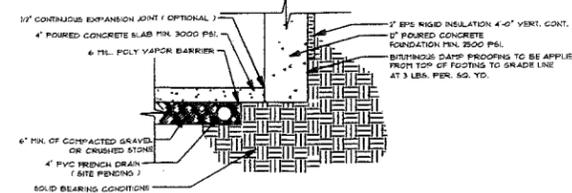
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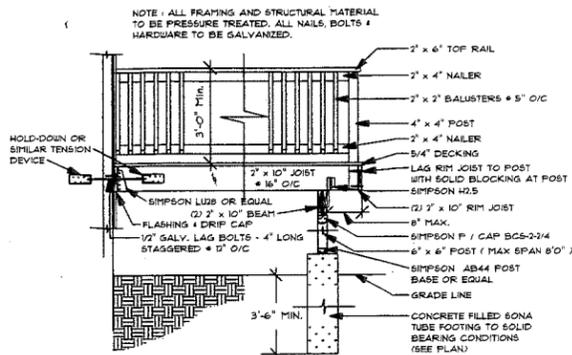
CROSS SECTION 'A' 1/4"=1'-0"



CROSS SECTION 'B' 1/4"=1'-0"



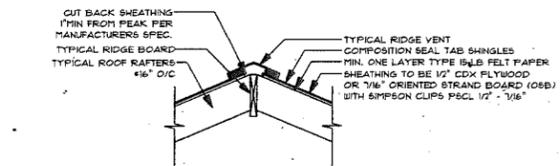
TYPICAL FOOTING W/ FLOOR DETAIL #28
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



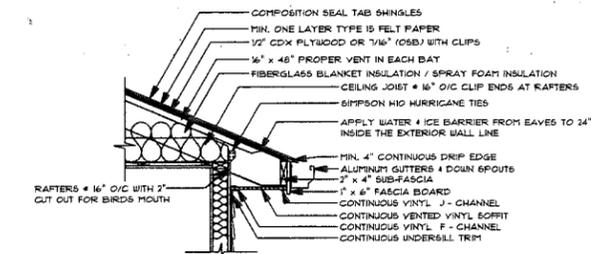
TYPICAL DECK DETAIL #61

TYPICAL NAILING SCHEDULE
TYPICAL FLOORS
 JOIST TO BILL OR GIRDER TOE NAIL (3) 8D
 RIM JOIST TO JOIST (3) 16D
 3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL, OR 14GA, 13/4" STAPLE, OR 1 1/2" RING OR SCREW SHANK NAILS 6" FROM EDGES 12" O.C.
TYPICAL BUILT-UP GIRDERS AND BEAMS
 NAIL EACH LAYER WITH 10D NAILS @ 32" O.C. AT TOP AND BOTTOM STAGGERED.
 TWO NAILS AT ENDS AND AT EACH SPLICE.
TYPICAL WALLS
 BOTTOM PLATE TO JOIST 16D @ 16" O.C.
 STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
 STUD TO TOP PLATE (2) 16D OR (3) 8D
 DOUBLE TOP PLATE (2) 10D @ 24" O.C.
 DOUBLE STUDS (2) 16D OR (3) 8D @ 16" O.C.
 PLATE LAPS AT CORNERS AND INTERSECTIONS (4) 10D
 1/2" WALL SHEATHING TO FRAMING 8D OR 15 GA. 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS 6" FROM EDGES 12" O.C.
TYPICAL BUILT-UP HEADERS
 TWO PIECES WITH 1/2" SPACER 16D @ 16" O.C. ALONG EACH EDGE
TYPICAL ROOFS
 CEILING JOIST TO PLATE TOE NAIL (3) 8D
 CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
 CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (2) 10D
 RAFTER TO PLATE TOE NAIL (2) 16D
 1/2" ROOF SHEATHING TO FRAMING 8D OR 15 GA. 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS 6" FROM EDGES 12" O.C.

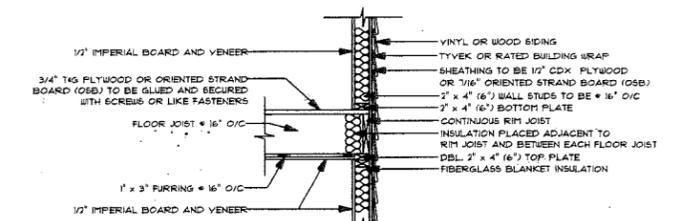
GENERAL NOTES
 EGRESS WINDOWS IN ALL BEDROOMS AS PER CODE
 SMOKE DETECTORS + CARBON MONOXIDE AS PER FIRE PROTECTION CODE
 PROVIDE A 22" X 30" ATTIC ACCESS OPENING.
 ALL DIMENSIONS, NOTES, AND OTHER INFORMATION CONVEYED IN THESE DRAWINGS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED IN FIELD BY BUILDER / CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES!
 THIS DRAFTSPERSON SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD MAKE THE STRUCTURE PHYSICALLY UNSAFE.
 UNFORESEEN SITE CONDITIONS MAY CAUSE A DEVIATION FROM THE CONSTRUCTION DOCUMENTS AND IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO INSURE STRUCTURAL STABILITY AND CONFORMANCE TO APPLICABLE CODES.



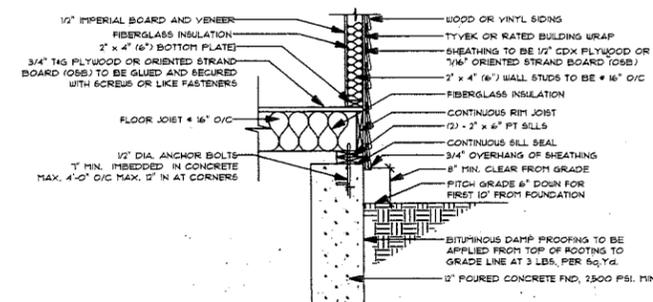
TYPICAL RIDGE W/ RAFTERS DETAIL #1
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



TYPICAL RAFTER W/ VINYL SOFFIT DETAIL #4
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



TYPICAL WALL TO FLOOR TO WALL DETAIL #12



TYPICAL FLOOR TO FOUNDATION DETAIL #20

PROPOSED ADDITION & RENOVATION

PREPARED FOR:
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 14 FRISCELLA DRIVE
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SCALE NOTED
 DATE
 Tuesday, August 31, 2021
 APPROVED
 DRR
 DRAWN BY
 DRR
 DRAWING NUMBER
 6429
 4 OF 4